

SAMPLE PROPERTY ADDRESS

Professional Snagging Inspection

Thursday, 1 January 2026

Prepared For Client Name

Site Details

Inspector #1

Property Inspection Perth

Introduction

This inspection has been carried out by Property Inspection Perth as an independent visual assessment of the property at the time of inspection. The purpose of the inspection is to identify visible defects, incomplete works, poor workmanship, and items that may require further review or rectification prior to practical completion, settlement, or handover.

The inspection has been undertaken with consideration given to the National Construction Code (NCC), relevant Australian Standards, manufacturer installation requirements, and the WA Guide to Standards and Tolerances where applicable.

The findings within this report are based on conditions visible and accessible at the time of inspection only. Furniture, floor coverings, stored items, insulation, fixed panels, sealed areas, and inaccessible locations may restrict full inspection of certain elements.

This report is intended to assist homeowners in identifying items that may require attention prior to taking ownership of the property and should be read in conjunction with builder documentation, approved plans, engineering details, warranties, certifications, and relevant compliance documentation where applicable.

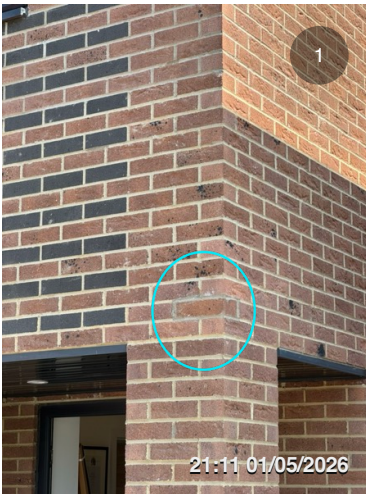
Inspection Limitations

This inspection is non-invasive and limited to visually accessible areas only. No destructive testing or dismantling of building elements was carried out during the inspection unless otherwise stated within this report.



Front Elevation

For location reference only.

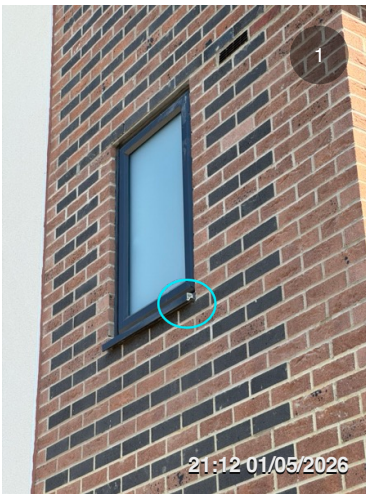


Issue 1

: Front Elevation

Mortar is discoloured - please replace.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable brickwork appearance and mortar finish.



Issue 2

: Front Elevation

Window sill end cap missing - please install.

Issue appears inconsistent with manufacturer installation requirements relating to external window sill components.



Issue 3

: Front Elevation

Brick clean required to remove mortar staining from all Elevations.

Issue appears inconsistent with acceptable completion and presentation standards. Professional clean required to remove staining and construction residue.

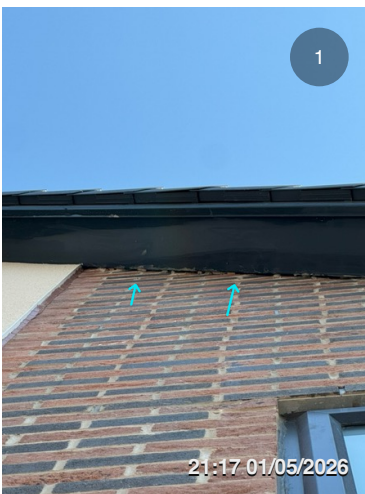


Issue 4

: Front Elevation

Poor sealant application - attention required to improve.

Issue appears inconsistent with acceptable sealant finish standards and manufacturer installation requirements.

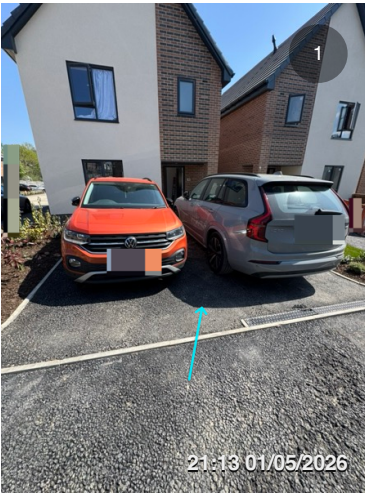


Issue 5

: Front Elevation

Gap between soffit and brickwork finish - please improve for aesthetical purposes.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable external finish quality and workmanship.



Issue 6

: Front Elevation

Wearing course installation date should be confirmed in accordance with contractual completion requirements.



Issue 7

: Front Elevation

Damage to ACO drain channel - please replace.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to external works and drainage components.



Issue 8

: Front Elevation

Cracking to the render finish appears inconsistent with acceptable external wall finish standards.



Left Hand Side Elevation

For Reference Only.

No issues found.



Right Hand Side Elevation

For location reference only.



Issue 9

: Right Hand Side Elevation

No equipotential bonding present to gas main inlet.

Electrical bonding installation should be confirmed in accordance with AS/NZS 3000 Wiring Rules.



Issue 10

: Right Hand Side Elevation

Penetrations should be adequately sealed to reduce the risk of moisture ingress, pest entry and air leakage in accordance with NCC weatherproofing requirements.



Rear Elevation

For location reference only.



Issue 11

: Rear Elevation

Protective film should be removed prior to handover in accordance with acceptable completion standards.

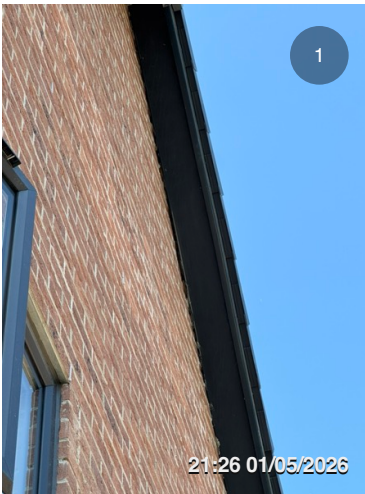


Issue 12

: Rear Elevation

Mortar is discoloured - please improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable brickwork appearance and mortar finish.



Issue 13

: Rear Elevation

Gap between soffit and brickwork - please improve for aesthetical purposes.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable external finish tolerances and workmanship.



Issue 14

: Rear Elevation

Door is difficult to operate - please adjust accordingly to improve and ease operation.

Door operation should be adjusted to ensure satisfactory operation in accordance with manufacturer installation requirements.



Issue 15

: Rear Elevation

Window beading should be securely fixed in accordance with manufacturer installation requirements.



Issue 16

: Garden

Shed doors should be adjusted to ensure satisfactory operation and alignment.



Issue 17

: Garden

Landscaping should be completed to an acceptable condition prior to handover.



Entrance / Hallway

For location reference only.



Issue 18

: Entrance / Hallway

Missing hinge caps - please install.

Door hardware components are incomplete and should be installed accordingly.



Issue 19

: Entrance / Hallway

Letterbox height should comply with NCC accessibility provisions relating to accessible use and operation.



Issue 20

: Entrance / Hallway

Construction residue should be removed prior to practical completion.

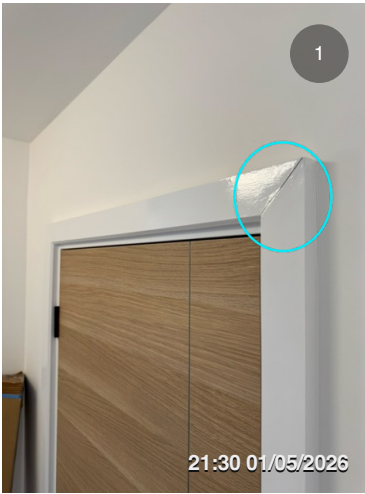
Issue 21

: Entrance / Hallway

Poor wall finishes - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish quality.





Issue 22

: Entrance / Hallway

Shrinkage cracks forming - please repair.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable paint finish and shrinkage cracking.

SAMPLE



Toilet GF

For location reference only.

Issue 23

: Toilet GF

Poor wall finishes - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish quality.





Issue 24 ⚠

: Toilet GF

Leak detected from waste pipes - please repair.

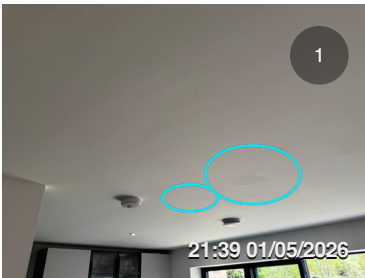
Issue appears inconsistent with AS/NZS 3500 Plumbing and Drainage standards relating to sanitary fixture connections.

SAMPLE



Kitchen

For location reference only.

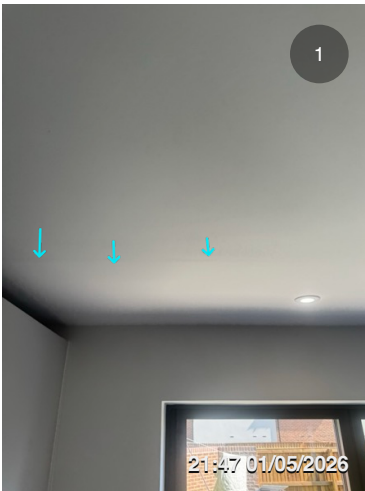


Issue 25

: Kitchen

Inconsistent paint finish to the ceiling - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to paint finish consistency.



Issue 26

: Kitchen

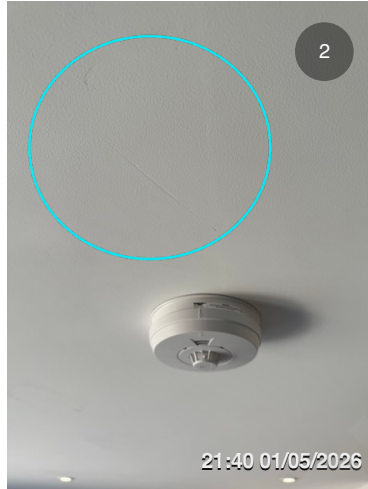
Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to plasterboard joint finish and surface presentation.

Issue 27

: Kitchen

Poor wall finishes - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish quality.





Issue 28

: Kitchen

Please remove over paint from the back splash.

Issue appears inconsistent with acceptable completion and presentation standards.

SAMPLE



Under Stairs Cupboard

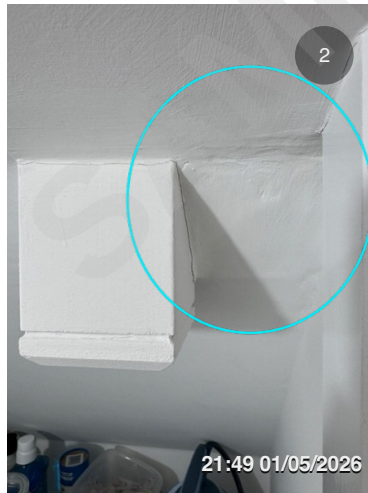
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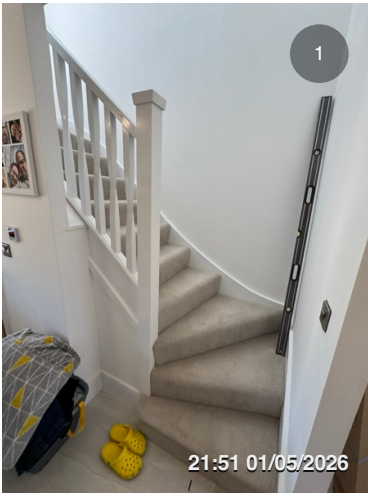
Issue 29

: Under Stairs Cupboard

Poor wall finish - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish quality.





Stairs

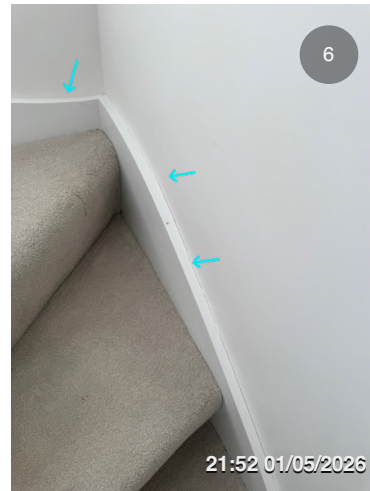
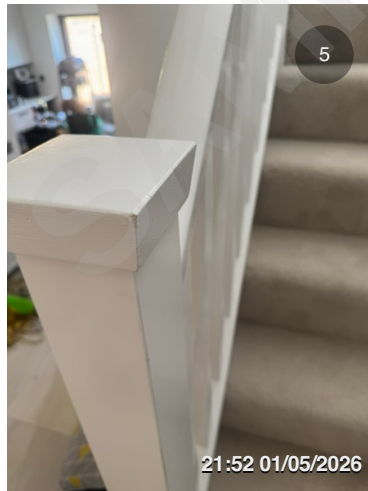
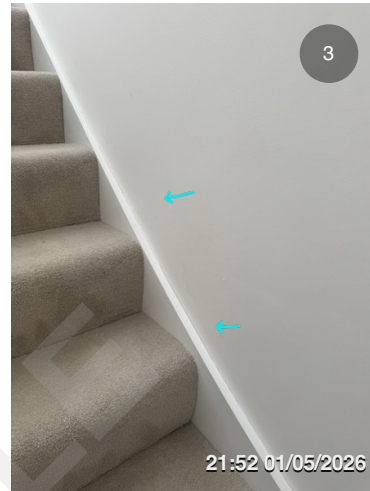
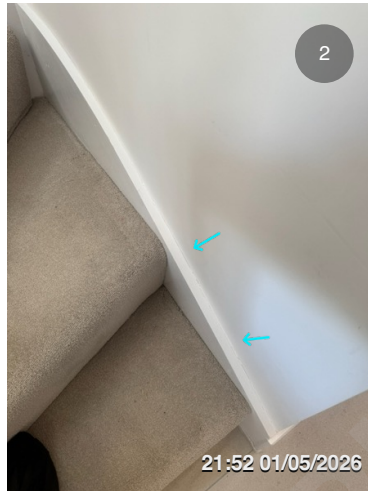
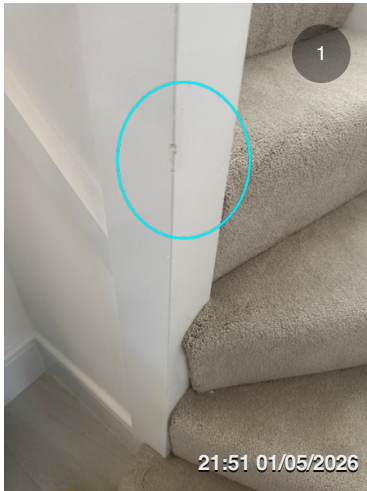
For location reference only.

Issue 30

: Stairs

Poor paint finishes and shrinkage cracks - please improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to paint finish and shrinkage cracking.

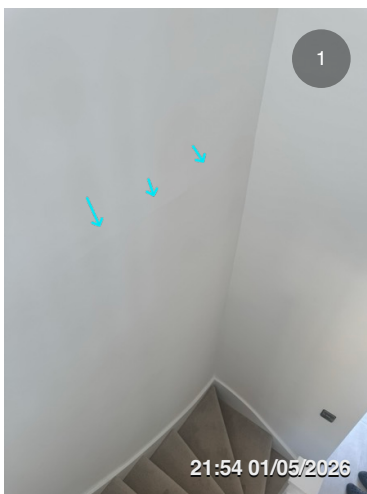
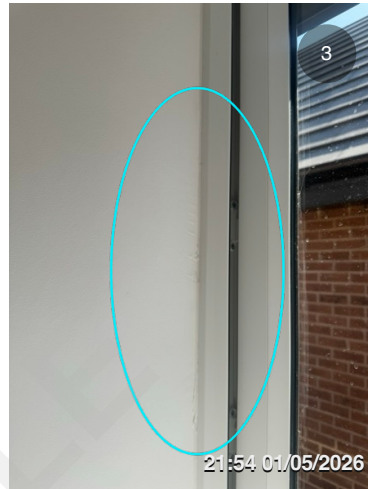
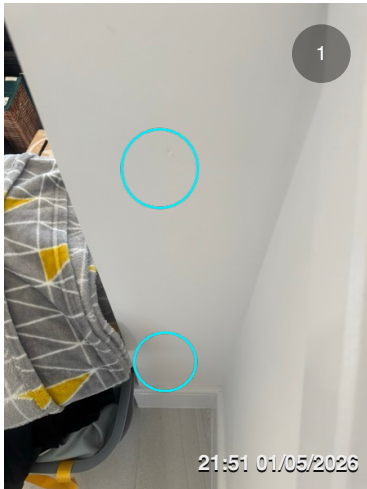


Issue 31

: Stairs

Poor wall finishes - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish quality.



Issue 32

: Stairs

Discrepancy to the plasterboard joint finish - please rectify this issue.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to plasterboard joint finish tolerances.



Issue 33

: Stairs

Scratches present on the glazing panel - please replace.

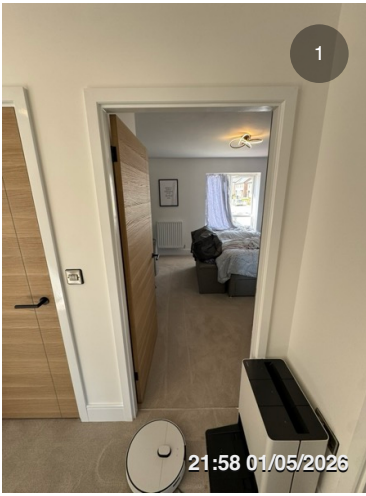
Issue appears inconsistent with AS 1288 Glass in Buildings relating to glazing condition and installation.



Hallway FF

For Reference Only.

No issues found.



Master Bedroom

For location reference only.



Issue 34

: Master Bedroom

Indentation to the woodwork - please improve.

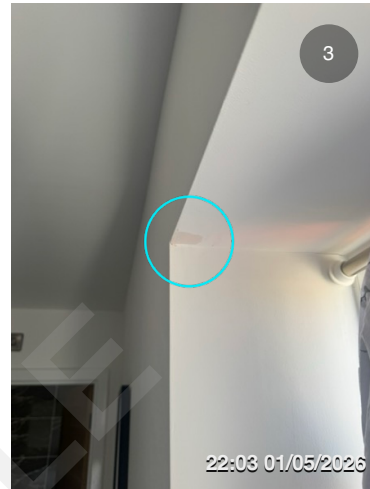
Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to finish quality.

Issue 35

: Master Bedroom

Poor wall finishes - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish quality.



Issue 36

: Master Bedroom

Fitted wardrobe door is binding against the frame - please adjust accordingly.

Issue appears inconsistent with manufacturer installation requirements relating to fitted joinery hardware.



Master Bedroom Ensuite

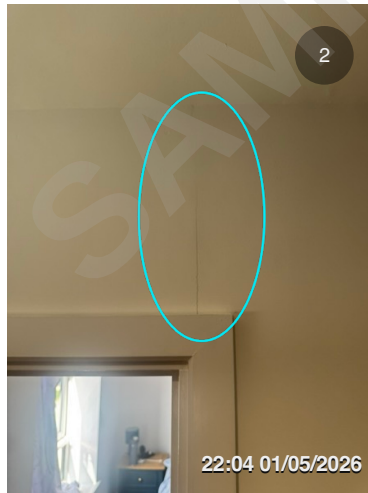
For location reference only.

Issue 37

: Master Bedroom Ensuite

Cracking appearing on the wall above door - please repair.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to shrinkage cracking and wall finish presentation.





Issue 38

: Master Bedroom Ensuite

Door is binding against the carpet threshold and requires adjustments.

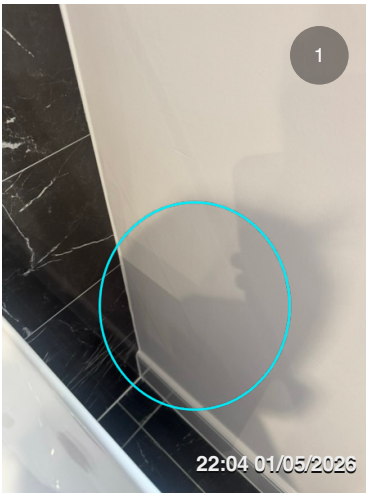
Issue appears inconsistent with acceptable door operation and clearance tolerances.

Issue 39

: Master Bedroom Ensuite

Poor wall finishes - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish quality.





Issue 40

: Master Bedroom Ensuite

Window sash is binding against the frame and is difficult to operate - please adjust accordingly to improve and ease operation.

Issue appears inconsistent with manufacturer installation requirements relating to satisfactory window operation.



Issue 41

: Master Bedroom Ensuite

Please remove excess paint from the tile trim.

Issue appears inconsistent with acceptable completion and paint finish standards.



Bedroom 2

For location reference only.

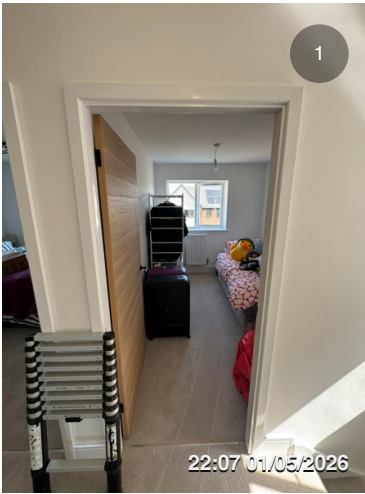


Issue 42

: Bedroom 2

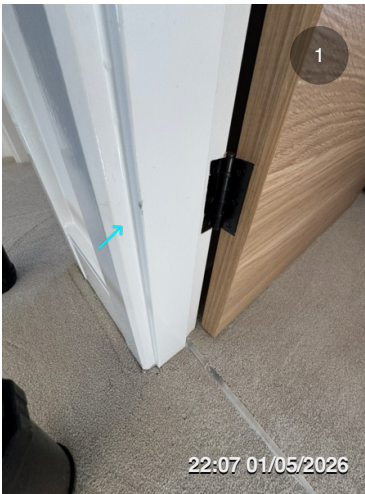
Poor paint finish to door frame - please improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable paint finish quality.



Bedroom 3

For location reference only.

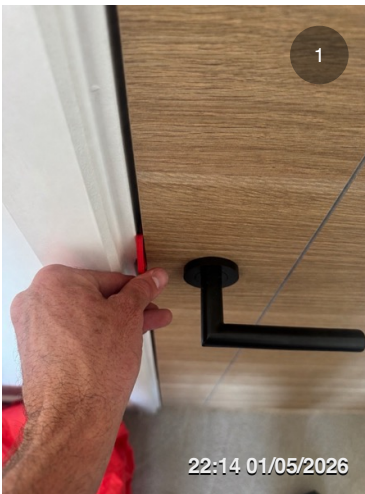


Issue 43

: Bedroom 3

Poor paint finishes to door frame - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable paint finish quality.



Issue 44

: Bedroom 3

6mm gap present.

The gap between the door and head or jamb should be a maximum of 4mm (for double doors, the gap at the meeting stiles should be within 4mm) and uniform - please rectify this issue.

Issue appears inconsistent with acceptable door fitment and alignment tolerances.



Issue 45

: Bedroom 3

Shrinkage cracks present - please improve.

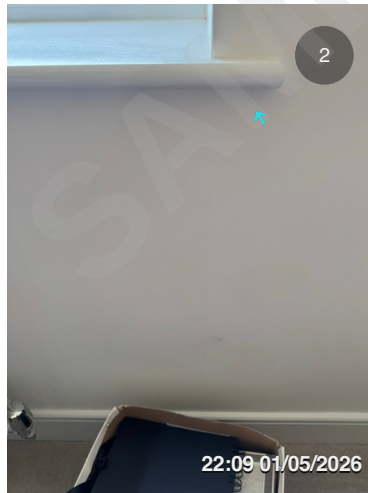
Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to shrinkage cracking.

Issue 46

: Bedroom 3

Please improve the quality of wall finish around the window board.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable wall finish presentation.





Bathroom

For location reference only.

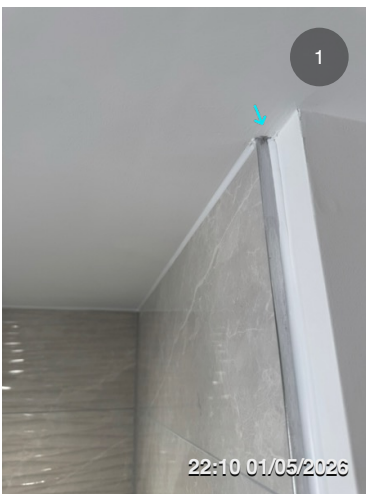


Issue 47

: Bathroom

Poor paint finish - please improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to acceptable paint finish quality.



Issue 48

: Bathroom

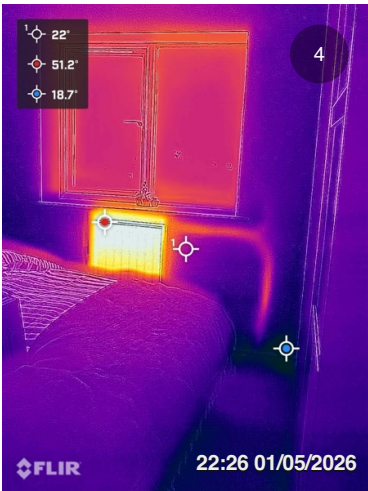
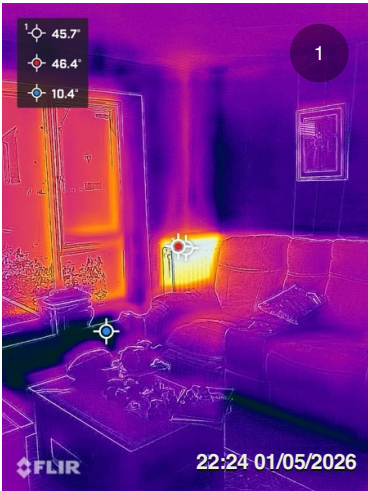
Poor paint finishes - attention required to improve.

Issue appears inconsistent with the WA Guide to Standards and Tolerances relating to paint finish consistency.

Thermal Inspection

For Reference Only.

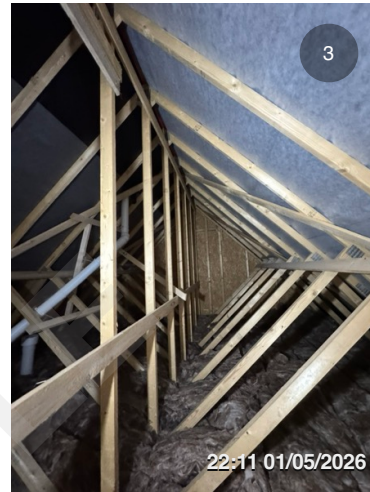
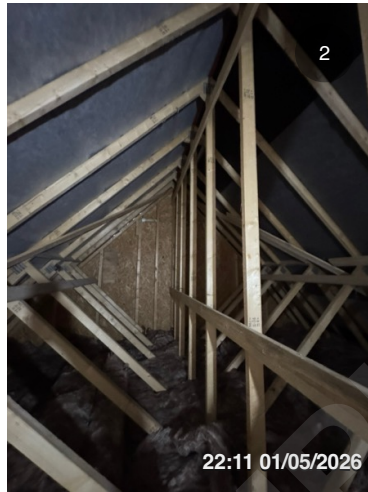
No issues found.



Loft Inspection

For Reference Only.

No issues found.



Issue 49

: Drone Inspection - RHS Rear

Guttering has disconnected - please repair.

Issue appears inconsistent with NCC weatherproofing requirements relating to rainwater goods and drainage performance.



Drone Inspection

For Reference Only.

No further issues found.

Disclaimer

This report has been prepared by Property Inspection Perth for the sole purpose of providing an independent visual assessment of the property at the time of inspection. The inspection is non-invasive and limited to areas that were reasonably accessible on the day of inspection.

The report identifies visible defects, workmanship concerns, incomplete works, and general maintenance observations only. No destructive testing, dismantling, specialist engineering assessment, or certification review has been undertaken unless otherwise stated within this report.

While reasonable care has been taken during the inspection process, Property Inspection Perth cannot guarantee the identification of latent defects, concealed issues, or defects located within inaccessible areas, including but not limited to roof voids, wall cavities, subfloors, concealed plumbing, concealed electrical systems, waterproofing membranes, or areas obstructed by furniture, fixtures, finishes, insulation, stored items, or restricted access points.

The visibility and appearance of certain cosmetic defects, including paint finishes, plasterwork, glazing, joints, sealants, and general surface presentation, may vary depending on lighting conditions, viewing angle, weather conditions, shadows, and the time of inspection. Certain imperfections may become more or less visible under different natural or artificial lighting conditions and at different times of the day.

References made to the National Construction Code (NCC), relevant Australian Standards, manufacturer installation requirements, and the WA Guide to Standards and Tolerances are provided as general guidance only and should not be interpreted as formal certification of compliance or non-compliance.

This report should be read in conjunction with approved plans, engineering details, certifications, warranties, builder documentation, and relevant compliance information where applicable. Where defects, safety concerns, or further investigation items have been identified, suitably qualified tradespersons, contractors, engineers, or specialists should be consulted for further assessment and rectification as required.

Property Inspection Perth accepts no liability for any loss, damage, cost, or dispute arising from reliance upon this report beyond the original inspection scope and agreed service limitations.
